

06

BUILDINGS 1, 2 & 3

6.00 INTRODUCTION

This chapter describes the proposed Front Buildings - Buildings 1, 2 and 3. They do not appear in Phase 1, however some of the materials and quality of finishes carry over, such as Glazed Terracotta and high quality precast concrete

The overview diagram below shows key design features covered in this chapter.

IN THIS CHAPTER:

6.07

Building 1, 2 & 3 ground floor plan

6.08

Building 1, 2 & 3 first floor plan

6.09

Building 1, 2 & 3 typical lower level floorplan

6.10

Building 1, 2 & 3 upper level floorplan

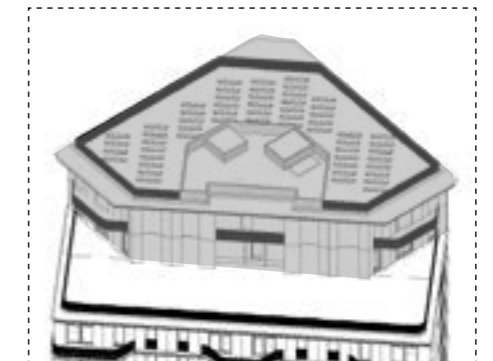
6.13

Building 1, 2 & 3 roof plan

6.20 Building 2 & 3 duplex homes

(PHASE 1)

6.13 Building 1, 2 & 3 roof levels

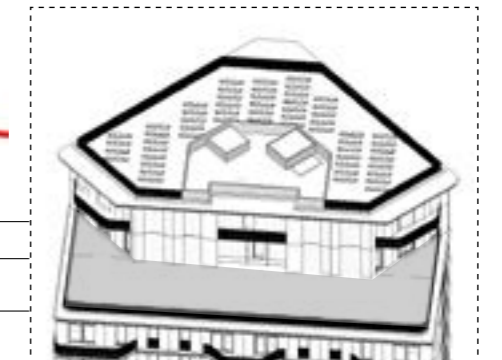


Quality, materiality carry over from Phase 1

B2+3 mirrored

Mass reduced to respond to neighbours

6.14 Terrace level: Communal amenity



6.05 Building 1, 2 & 3 Balconies & metalwork

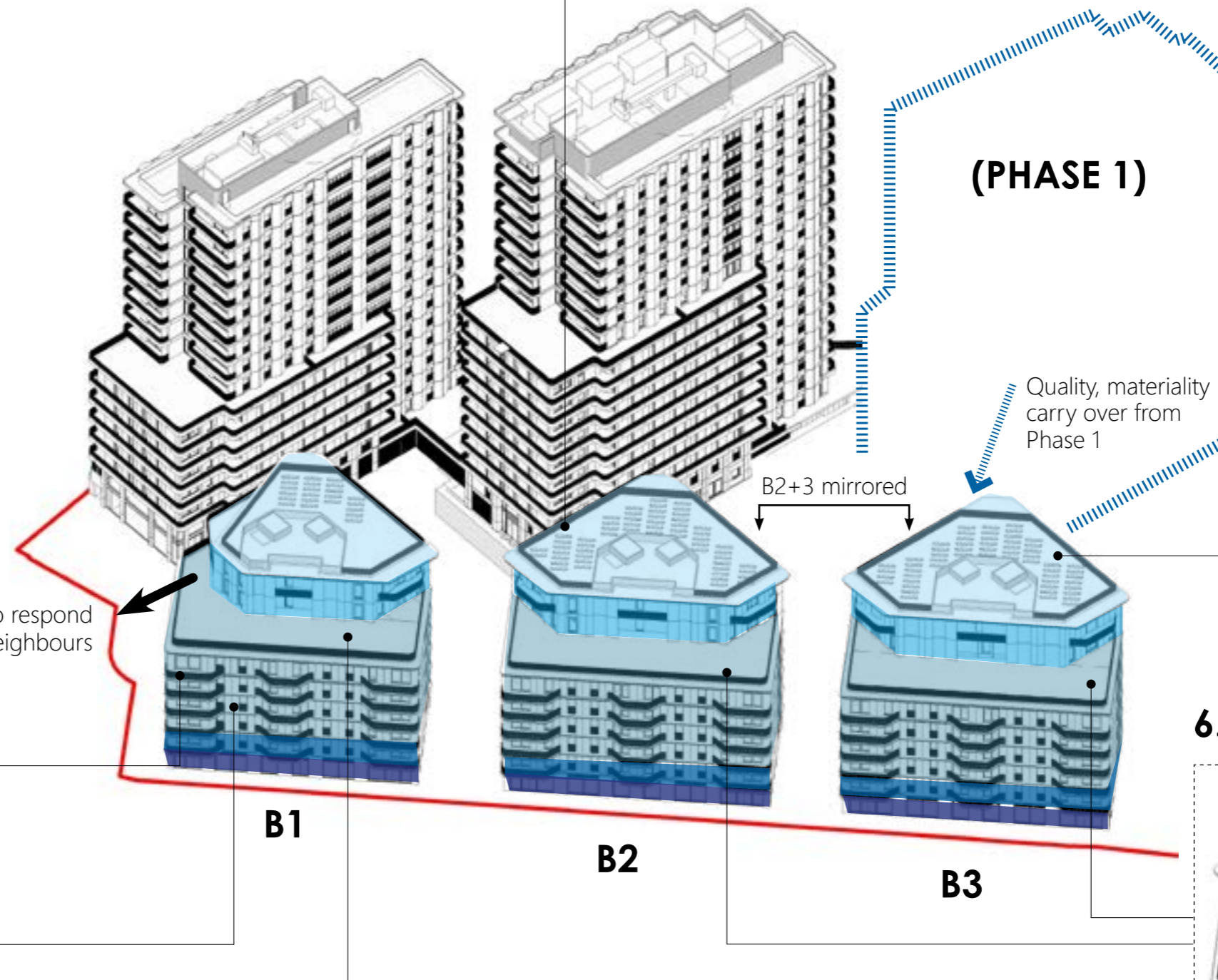
B1

B2

B3

6.21 Building 1, 2 & 3 Typical Apartment plans Social Rent

6.15 External Appearance



6.01 QUANTUM

Buildings 1,2 and 3 deliver in total 127 Affordable Tenure dwellings

TOTALS – Phase 2: Dwellings

	1B1P			1 Bed			2 Bed			3Bed				4Bed				5Bed				Totals
	1B1P.	1B2P.	1B2P-WCH	2B3P.	2B3P-WCH	2B4P.	3B4P.	3B4P.D	3B4P-WCH.	3B5P.	3B5P.D	3B6P.	3B6P.D	4B6P.	4B6P.D	4B7P.	4B7P.D	5B7P.	5B7P.D	5B8P.	5B8P.D	
B1	0	6	0	7	0	22	0	0	0	6	0	0	0	0	0	0	0	0	0	0	0	41
B2	0	10	4	4	0	5	0	0	0	19	0	0	0	0	1	0	0	0	0	0	0	43
B3	0	10	4	4	0	5	0	0	0	19	0	0	0	0	1	0	0	0	0	0	0	43

TO BE SWAPPED WITH COLOURED ELEVATION NEXT WEEK



6.02 BUILDING CONCEPT

The architectural composition is rooted in the response to the surroundings. We have developed a simple and defined set of rules that create one overall architectural language to the masterplan, while still allowing variation within each plot, in order that its own individual character can be refined.

The Lower buildings respond to the scale of the context, and consequently their response to their surroundings:

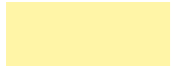
- Zone 1: Addressing the conservation area to the west
- Zone 2: Facing the town squares in the centre of the scheme

A more detailed breakdown of each zone and the principles that define its character are illustrated below.

Zone 1

Ebury Bridge Road

- Addresses the conservation area
- Scale in-keeping with low-rise neighbouring buildings
- Fine detailing viewed from street level
- Retaining street character: brick context, ground level high street.



View of Ranelagh Grove

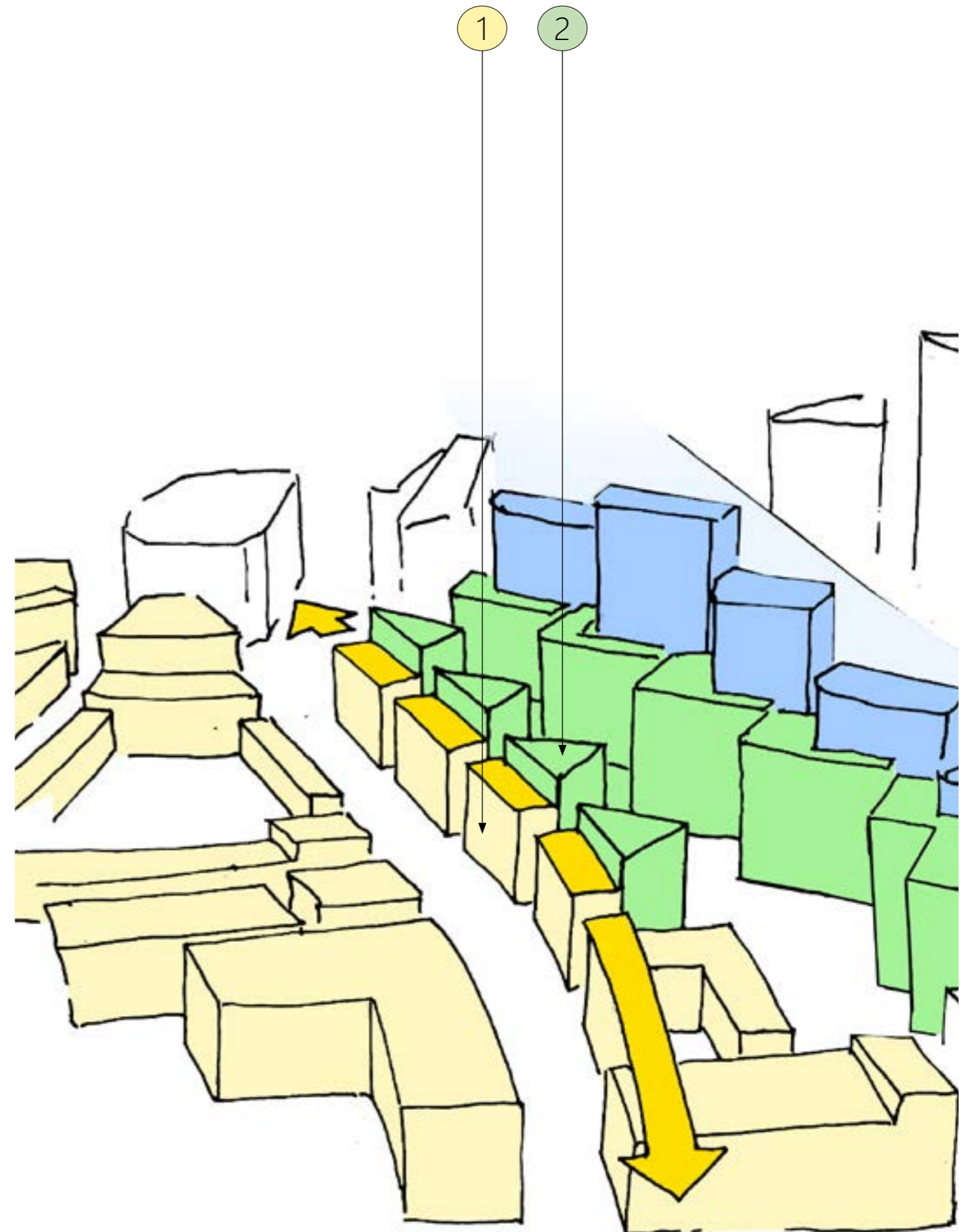
Zone 2

Within the site

- Town squares
- Mid-scale
- Privacy and passive surveillance
- Materiality: distinct individual buildings, but within the Ebury masterplan identity
- Natural materials: complimenting landscape design



Landscaped town squares



6.03 MATERIAL CONCEPT

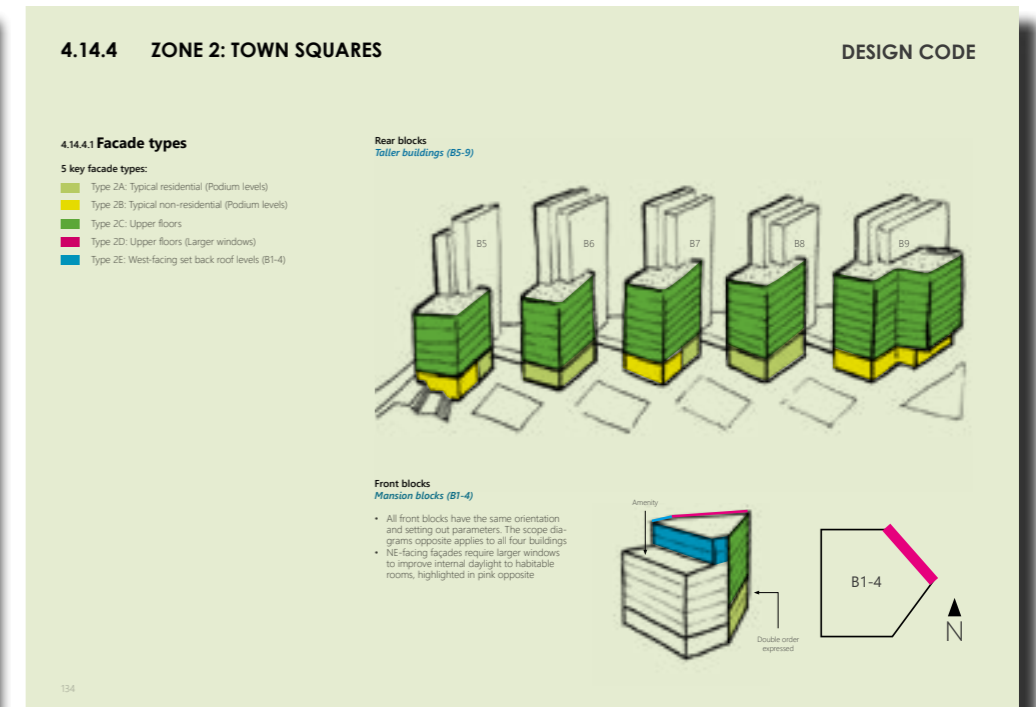
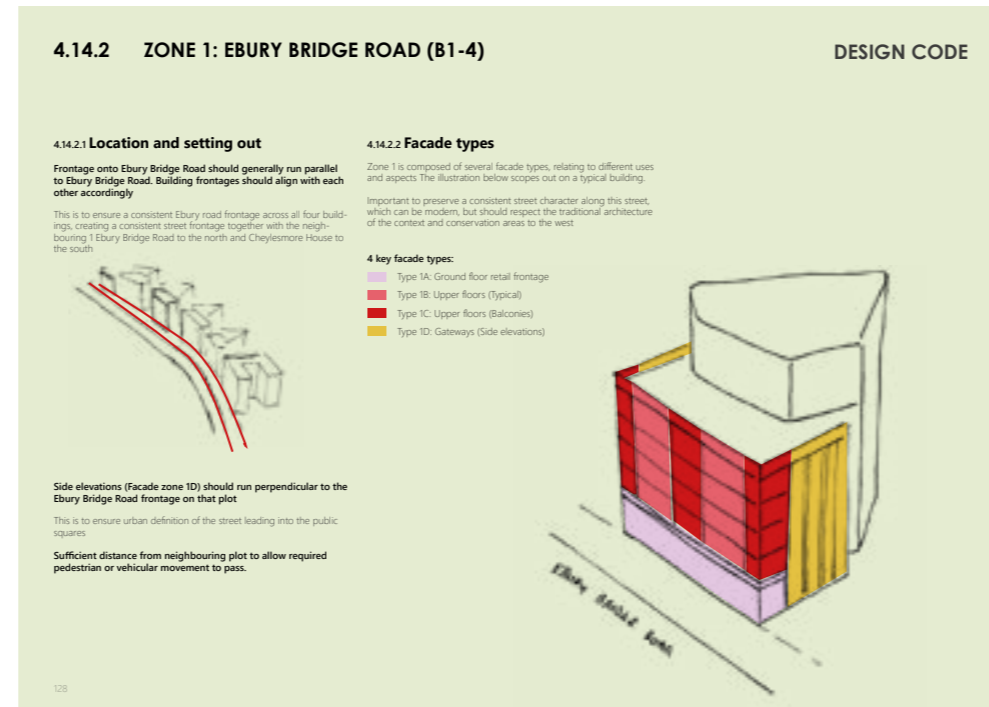
Two distinct material articulations define the two sides of Buildings 1 to 3 .

Discussions around brick type to Ebury Bridge road elevations have led towards a brick type Cissbury Red Multi or similar, driven by feature benefits:

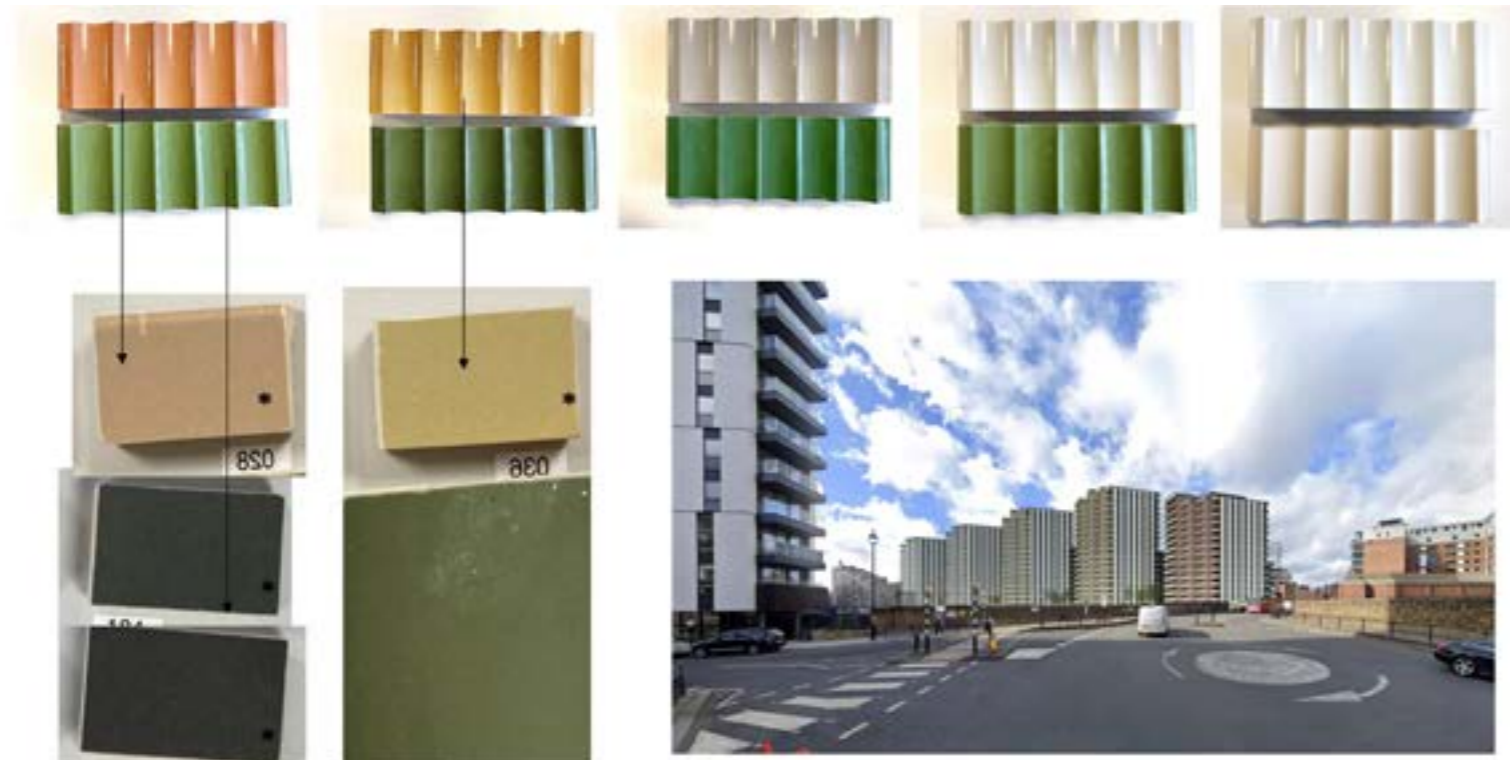
- Multi 'speckled' tone
- Sand faced
- Low embodied carbon (fired locally)

The second material is Glazed Terracotta, matching phase 1 under construction on site, but with colour varying by Building. For more details refer to Chapter 04.

The materials presented here meet the requirements of the design codes defined in the outline approved scheme.



Above: Design code pages, from consented permission

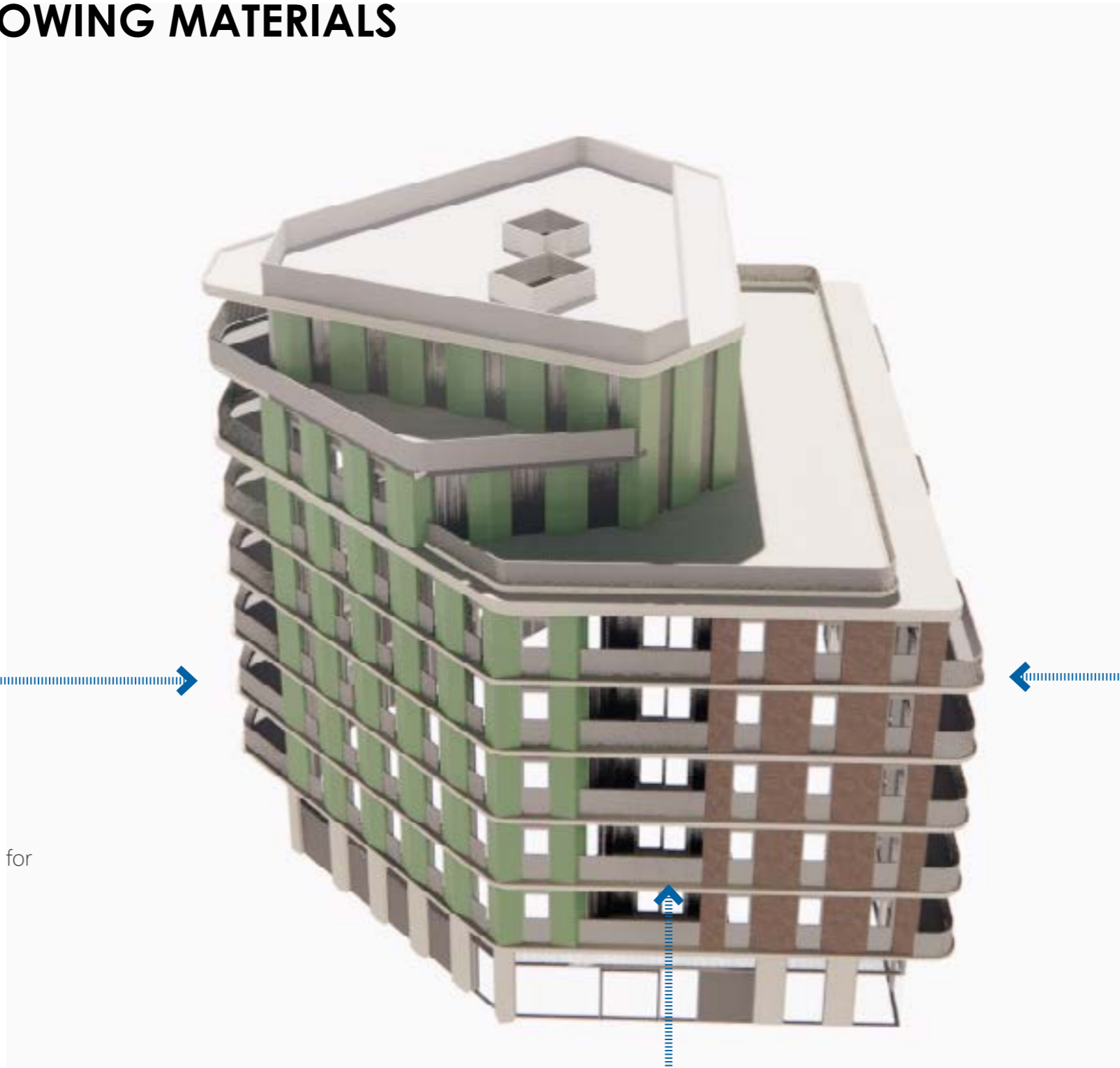


Alternative terracotta colours under consideration during design development to relate to the tones of B5/B6



Brick tones in the surrounding area and of the existing buildings are varying shades of red

6.04 3D VIEW SHOWING MATERIALS

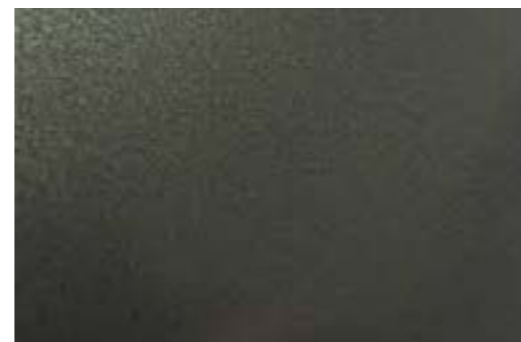


Glazed terracotta. Colours vary by building, for details refer to Section 04



Cissbury Red Brick

Negotiating Between the two material types is a neutral grey metal that acts as a shadow gap between the two architectural forms and incorporates the recessed balconies. This architectural move increases the distance between balconies and improves privacy.



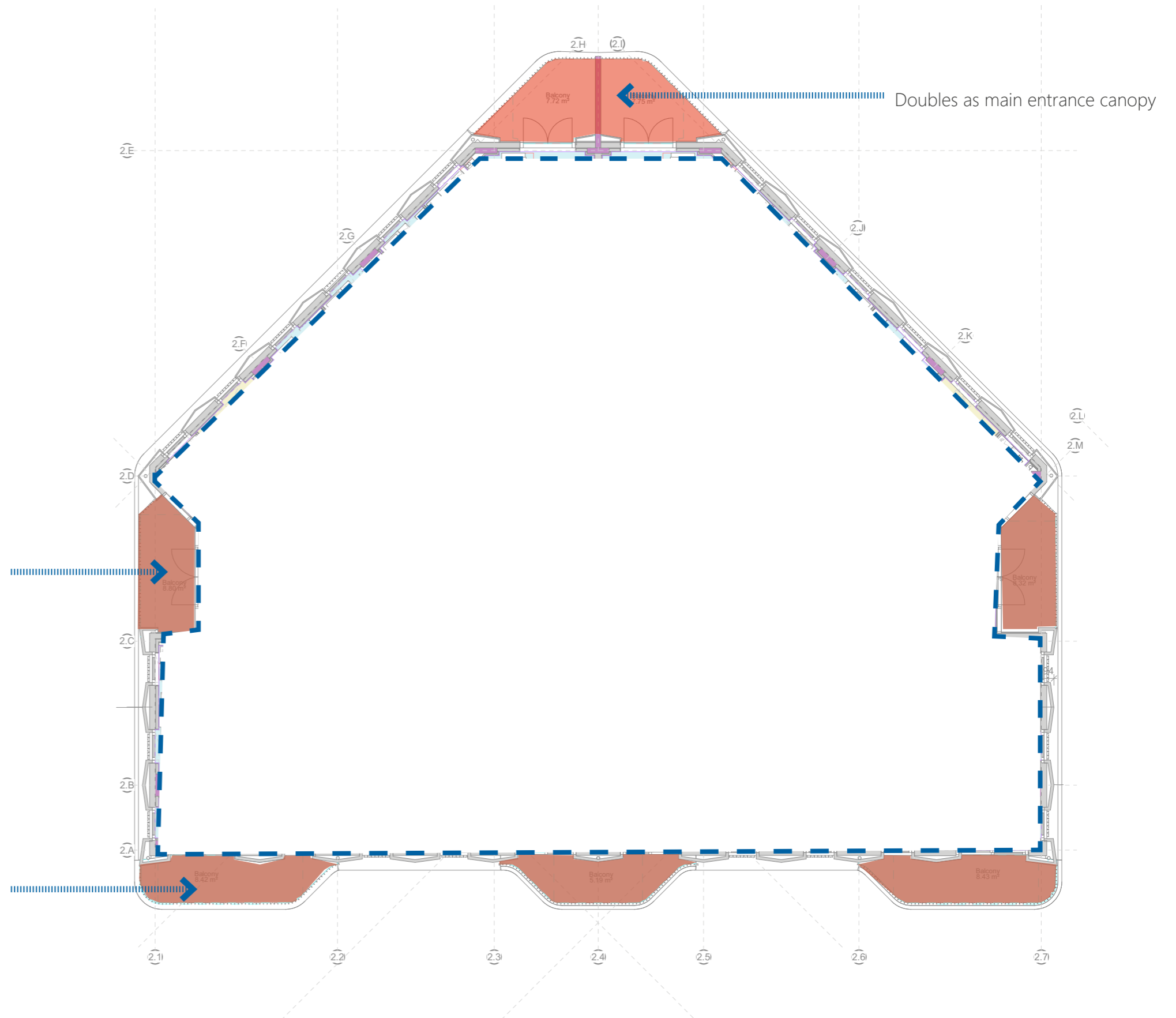
Metal - RAL 7022 (30% Gloss) - matching Phase 1

6.05 B123 BALCONIES

The balconies have two functions in relation to the overall architectural concept. Each balcony either breaks up the mass as illustrated in 'Materiality' section or serves as a canopy for an entrance below. It highlights the main entrances to the buildings on the Eastern side facing the public realm.

Breaking the mass between the two distinct material types

Provides articulation to the Ebury Bridge Road and breaks up the facade





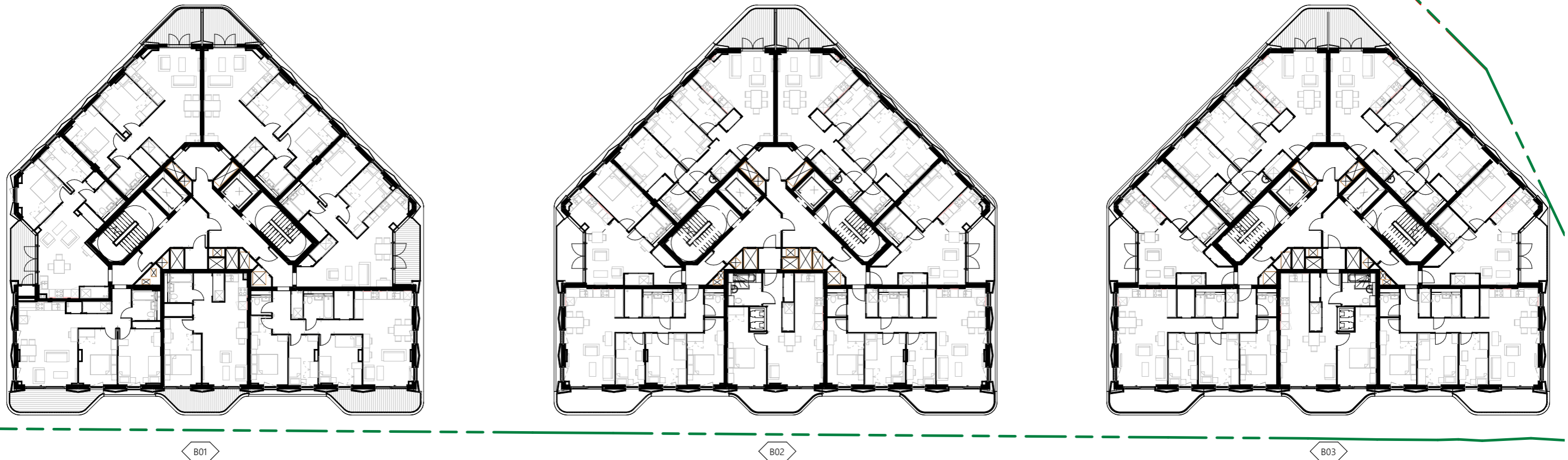
Balcony arrangement

6.06 FLOORPLANS

Buildings 2 and 3 have minor differences to plant / ancillary spaces on the ground floor (due to the different nature of the public realm) but otherwise the two buildings are exact mirrors of each other, on all levels. This is an important feature of the design and presents a uniformity to the street frontage.

Building 1 is very similar in plan, but is made narrower to respond to the neighbours. The form pulls away from One Ebury compared to the original existing building location. Some dwelling types repeat across all three buildings. All 3 buildings share the same core design, which incorporates two stairs in line with the latest regulations.

The following pages show the typical floorplans in



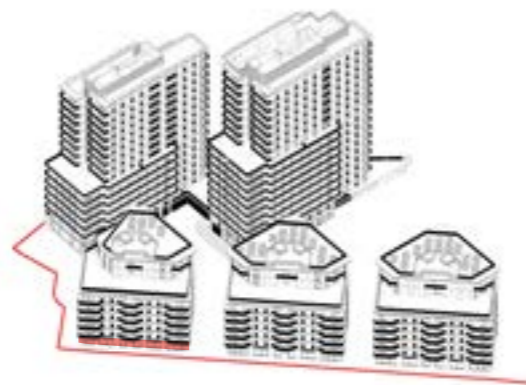
Buildings 1, 2, 3 Typical residential floors

6.07 GROUND FLOOR PLAN

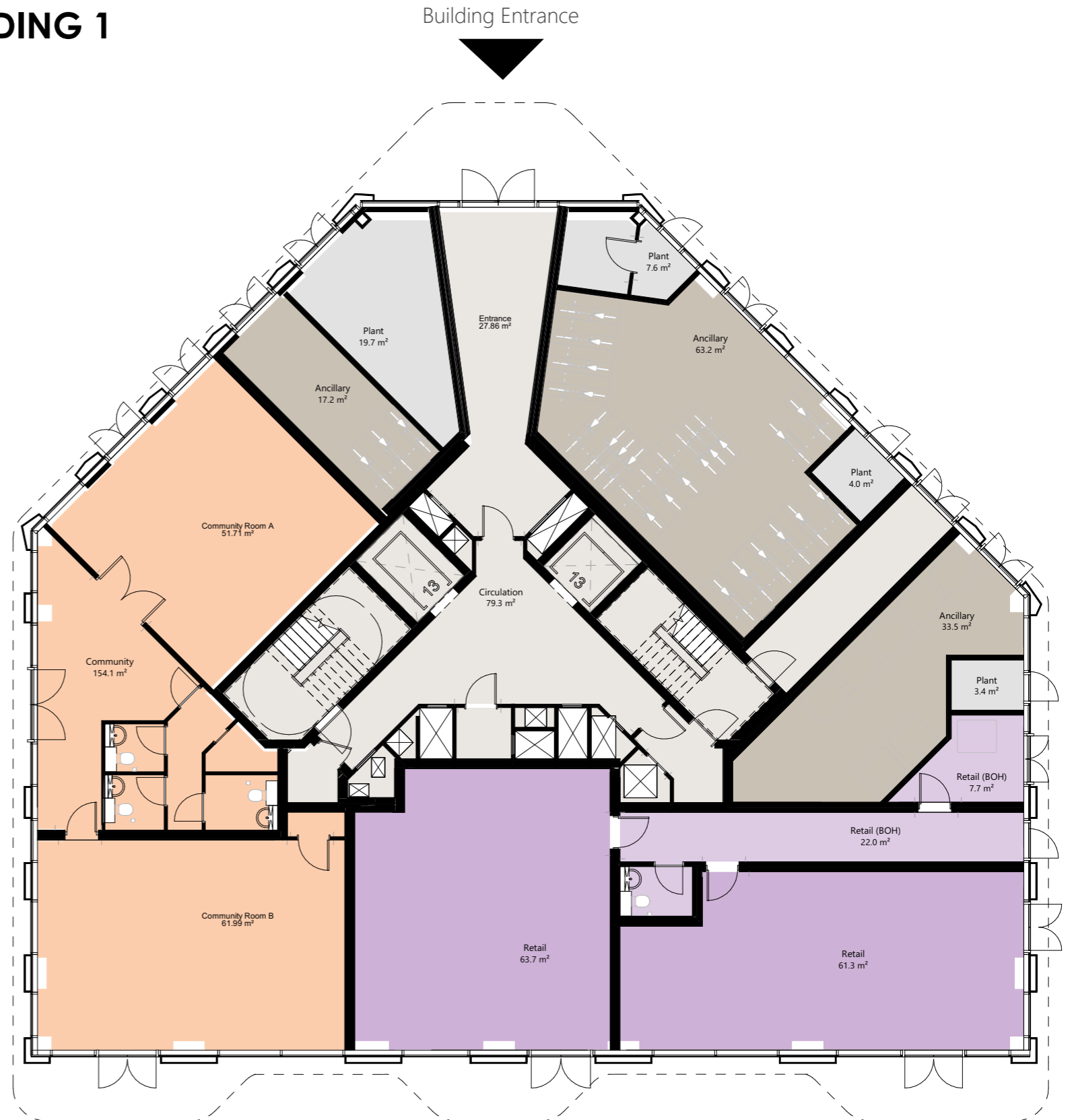
Building 1 ground floor incorporates 158sqm of flexible Community space. The internal design will be developed with further consultation, but it is designed to provide two large multipurpose rooms, accessed either side of the entrance lobby, allowing flexibility of use. The community centre turns two corners, activating this Northern end of phase 2. Flexible Retail use is provided to the remainder of the Ebury Bridge Road frontage, with the rest of the plan comprising of Residential Ancillary uses such as plant, cycle and refuse stores.

KEY

- 1B1P
- 1B2P
- 2B3P
- 2B4P
- 3B4P
- 3B5P/ 3B6P
- 4B6P
- 5B7P



BUILDING 1



Buildings 2 & 3 each have one Duplex home at ground/first floor. Ebury Bridge Road is provided with large retail spaces, which wrap around the plan, providing the retail spaces with multi-aspect views, and activating the public realm.

Floorplate provides:

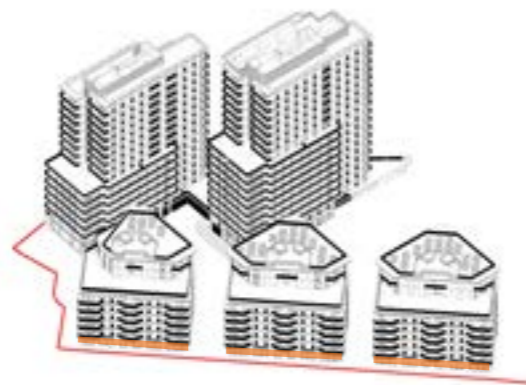
- 1 x 4Bed 7Person Duplex Home

BUILDING 2 (BUILDING 3 MIRRORED)



KEY

- 1B1P
- 1B2P
- 2B3P
- 2B4P
- 3B4P
- 3B5P/ 3B6P
- 4B6P
- 5B7P



6.08 FIRST FLOOR PLANS

Building 1 does not include any duplex units, and therefore level 1 repeats up the building between Level 1-5.

The floorplan achieves the following:

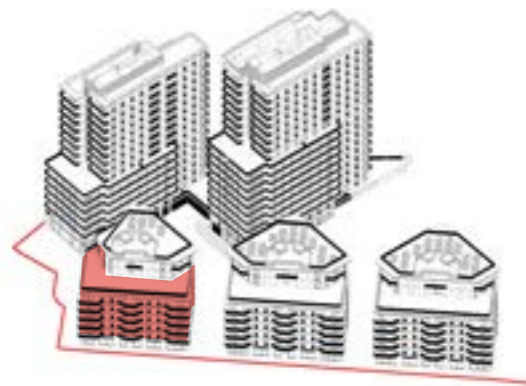
- 7 apartments
- Efficiency: 77%
- 7 apartments per core
- 86% dual aspect living

Floorplate provides:

- 1 x 1Bed 2Person Home
- 1 x 2Bed 3Person Home
- 4x 2Bed 4Person Homes
- 1 x 3Bed 5Person Home

KEY

- 1B1P
- 1B2P
- 2B3P
- 2B4P
- 3B4P
- 3B5P/ 3B6P
- 4B6P
- 5B7P



BUILDING 1 (TYPICAL FLOORTYPE - LEVELS 1-5)



BUILDING 2 (BUILDING 3 MIRRORED) - LEVEL 1

Due to the duplex home, the first floor of buildings 2 and 3 are unique.

The floorplan achieves the following:

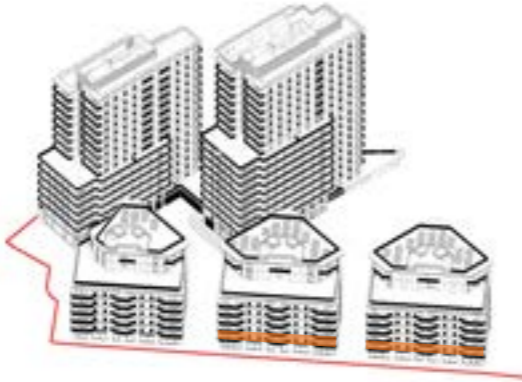
- 6 apartments
- Efficiency: 80%
- 86% dual aspect living

Floorplate provides:

- 1 x 1Bed 2Person Home
- 1 x 1Bed 2Person Wheelchair User Dwelling
- 1x 2Bed 4Person Home
- 3x 3Bed 5Person Homes

KEY

- 1B1P
- 1B2P
- 2B3P
- 2B4P
- 3B4P
- 3B5P/ 3B6P
- 4B6P
- 5B7P



6.09 TYPICAL LEVELS

The floorplan achieves the following:

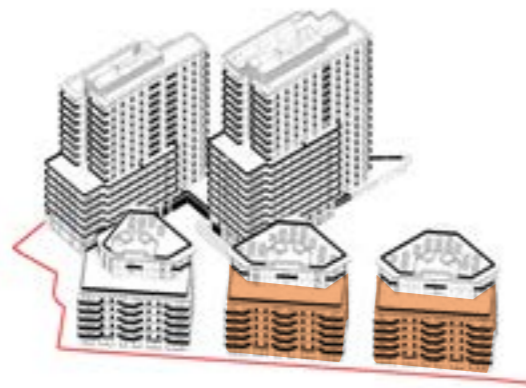
- 7 apartments
- Efficiency: 80%
- 7 apartments per core
- 86% dual aspect living

Floorplate provides:

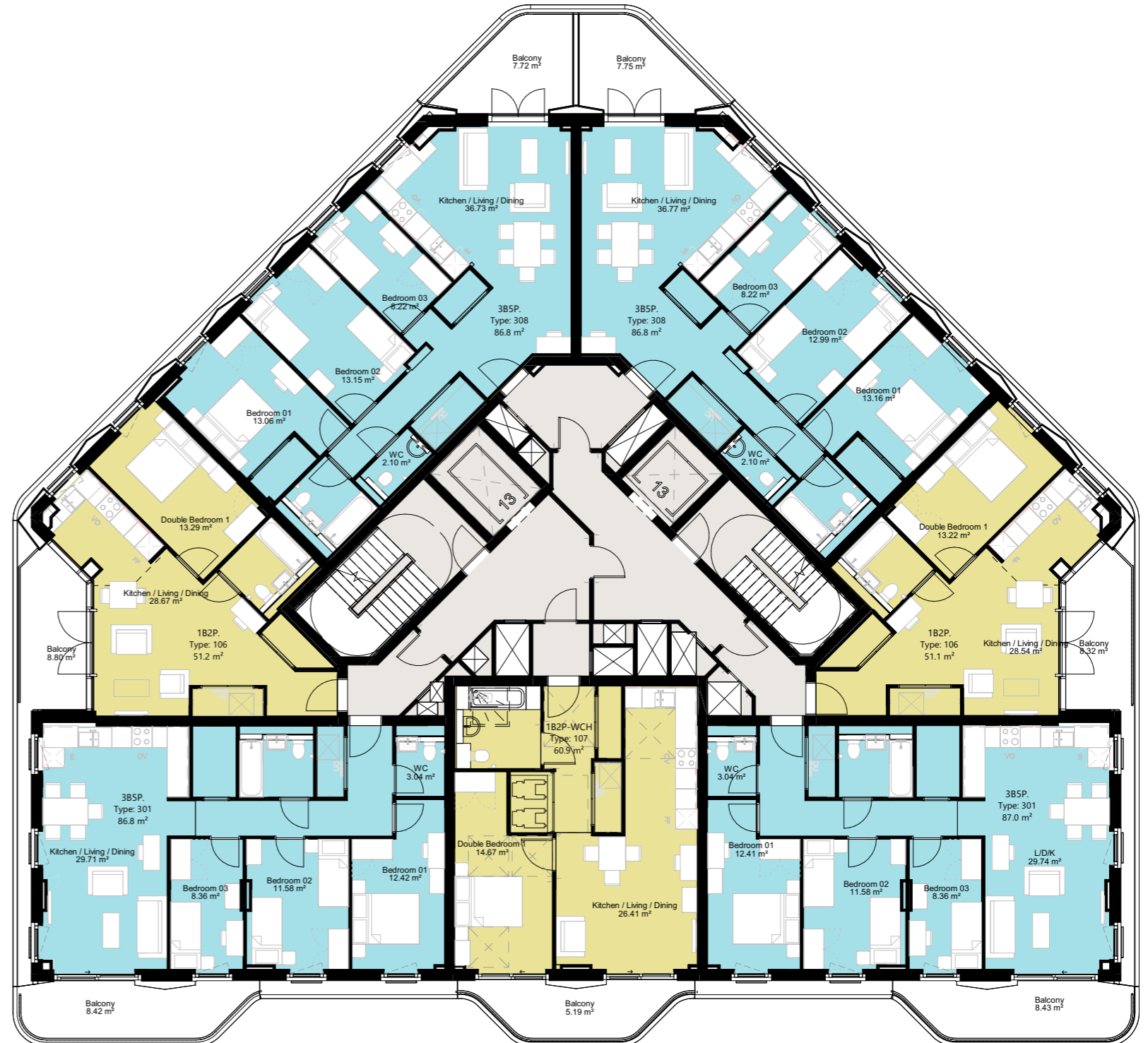
- 2 x 1Bed 2Person Homes
- 1 x 1Bed 2Person Wheelchair User Dwelling
- 4 x 3Bed 5Person Homes

KEY

- 1B1P
- 1B2P
- 2B3P
- 2B4P
- 3B4P
- 3B5P/ 3B6P
- 4B6P
- 5B7P



BUILDING 2 (BUILDING 3 MIRRORED) TYPICAL FLOOR L2-5



6.10 UPPER LEVELS- BUILDING 1 LEVEL 6

All three buildings start to set back at level 6, with a generous public terrace provided facing west. Building 1 also sets back to the north, in response to its neighbour One Ebury. The upper most floor plan (7th floor) cuts back further still.

The floorplan achieves the following:

- Efficiency : 64%
- 3 apartments per core
- 100% dual aspect homes

Floorplate provides:

- 1x 2Bed 3Person Home
- 1x 2Bed 4Person Home
- 1x 3Bed 5Person Home

KEY

- 1B1P
- 1B2P
- 2B3P
- 2B4P
- 3B4P
- 3B5P/ 3B6P
- 4B6P
- 5B7P



BUILDING 1 LEVEL 6



6.11 UPPER LEVEL- BUILDING 1 LEVEL 7

All three buildings start to set back at level 6, with a generous public terrace provided facing west. Building 1 also sets back to the north, in response to its neighbour One Ebury. The upper most floor plan (7th floor) cuts back even further as shown.

The floorplan achieves the following:

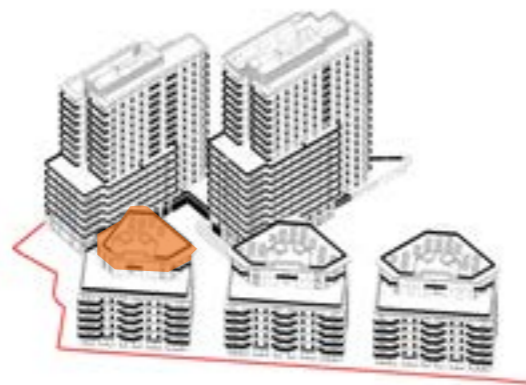
- Efficiency : 64%
- 3 apartments per core
- 100% dual aspect living

Floorplate provides:

- 1 x 1Bed 2Person Home
- 1 x 2Bed 3Person Home
- 1x 2Bed 4Person Home

KEY

- 1B1P
- 1B2P
- 2B3P
- 2B4P
- 3B4P
- 3B5P/ 3B6P
- 4B6P
- 5B7P



BUILDING 1 LEVEL 7



6.12 UPPER LEVELS- BUILDING 2

All three buildings start to set back at level 6, with a generous public terrace provided facing west. For Buildings 2 and 3, the dwellings of terrace level 6 repeat up to level 7.

The floorplan achieves the following:

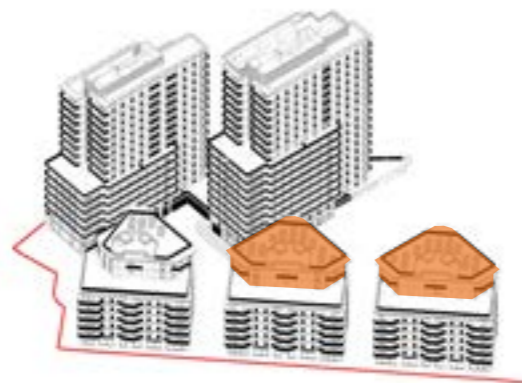
- Efficiency : 70%
- 4 apartments per core
- 100% dual aspect living

Floorplate provides:

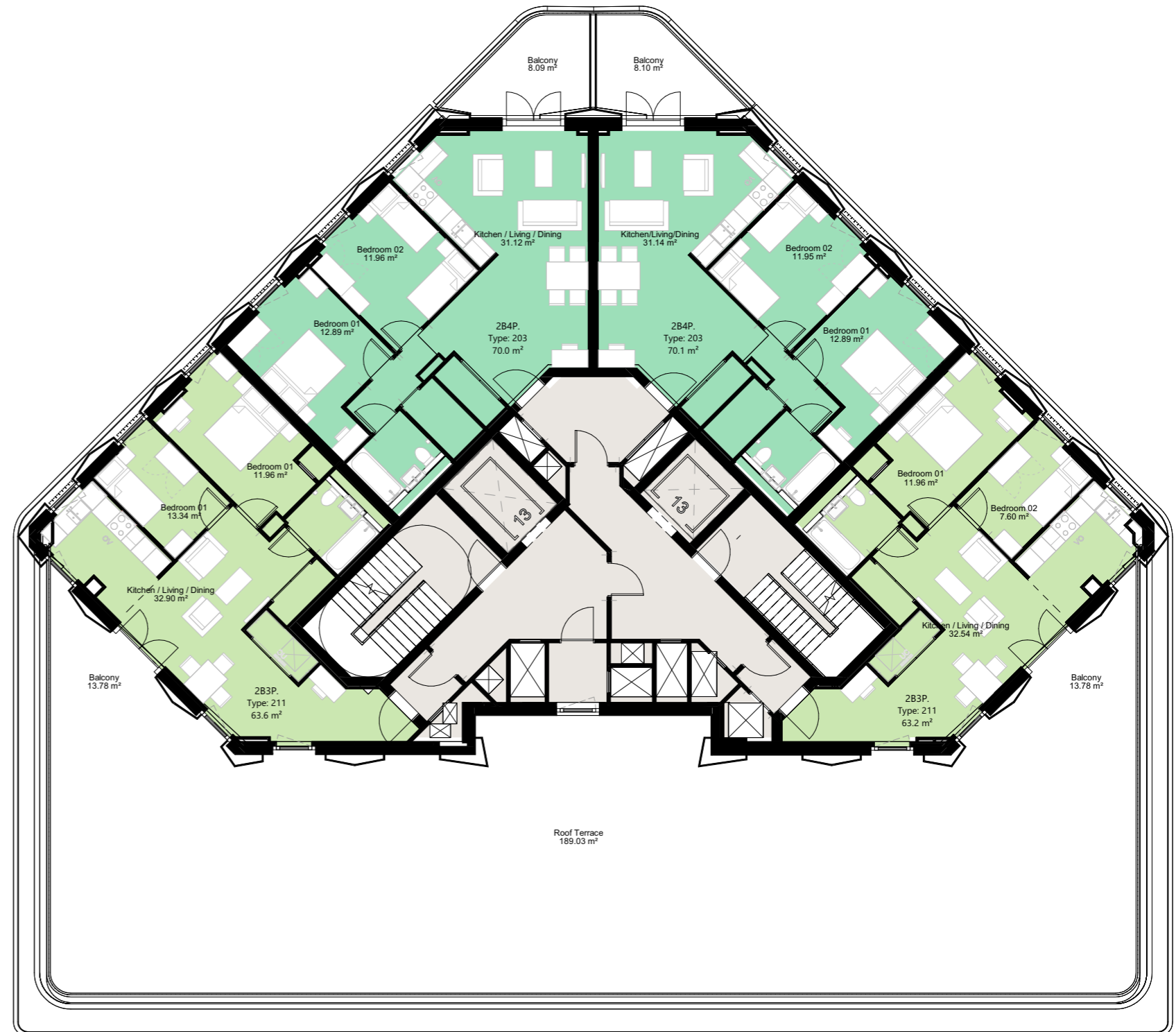
- 2 x 2Bed 3Person Homes
- 2x 2Bed 4Person Homes

KEY

- 1B1P
- 1B2P
- 2B3P
- 2B4P
- 3B4P
- 3B5P/ 3B6P
- 4B6P
- 5B7P



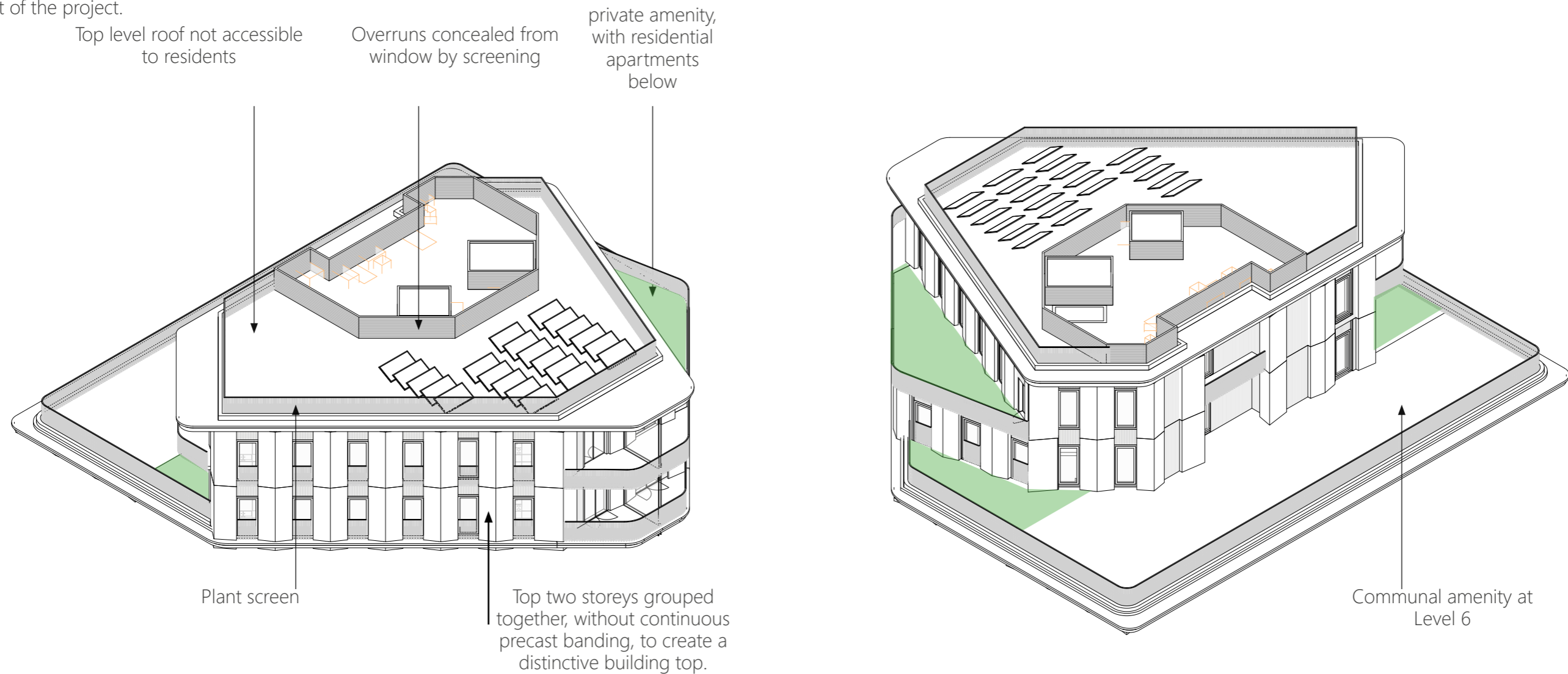
BUILDING 2 (BUILDING 3 MIRRORED) L6&7



6.13 ROOF LEVELS

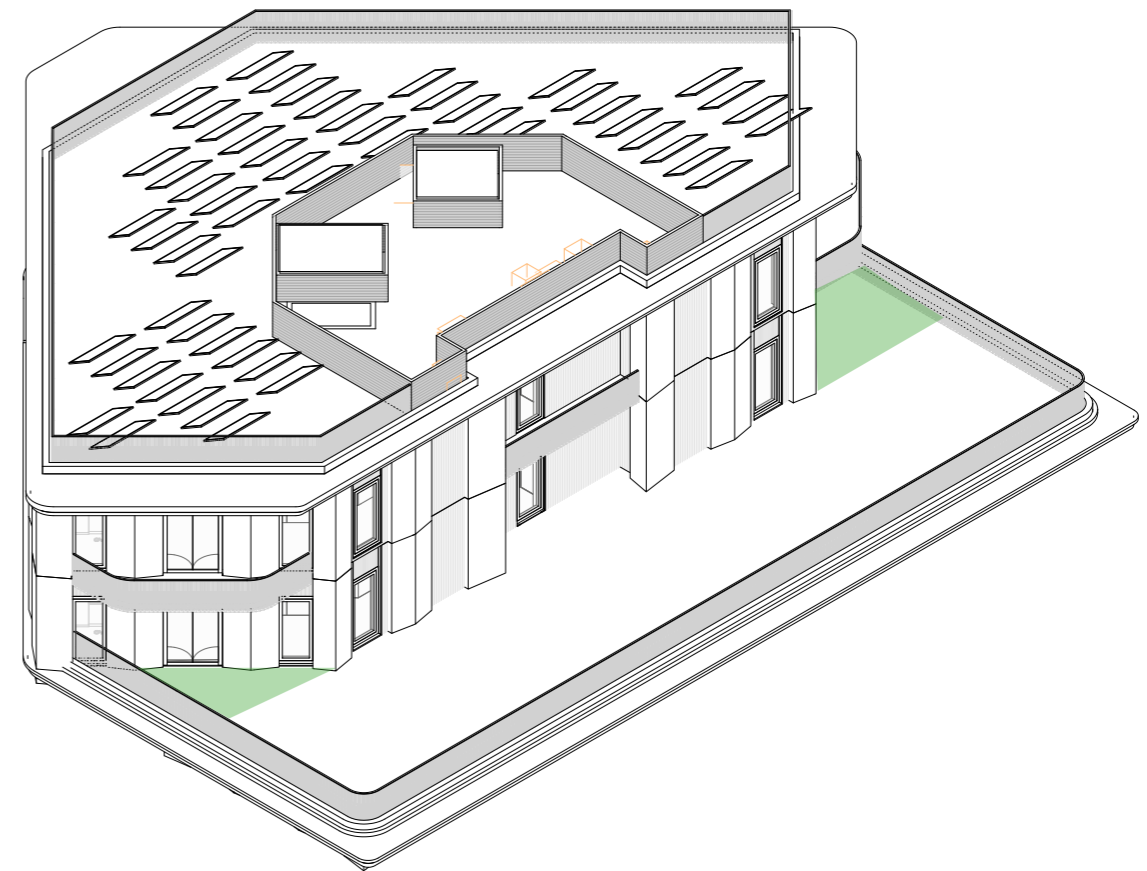
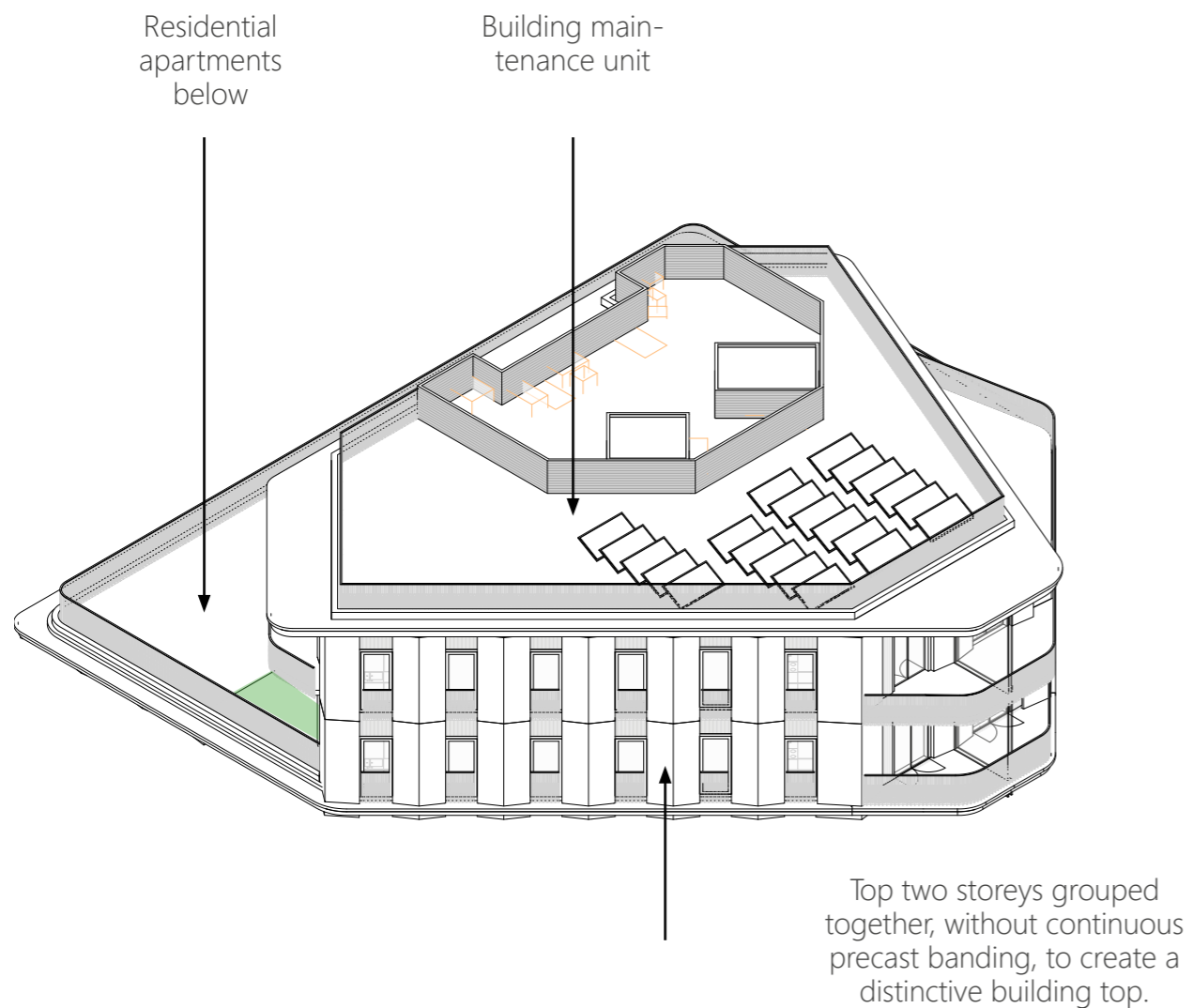
Overview

- The roof silhouette is defined by the continuous band of precast concrete, matching the quality of phase 1. Overhangs provide a sense of enclosure for upper level balconies.
- the top two levels are grouped together, providing each building with a distinct 'top'
- Low plant located on rooftops (such as smoke extract fans) are concealed from view with low screens.
- Top most roof levels are finished with green roofs, with 150mm substrate to increase biodiversity. PV panels sit on top, reducing the carbon footprint of the project.



Building 1: Axonometric views (Left: East, Right: West)

For detailed design of the amenity level refer to landscape drawings.



Private amenity

Building 2: Axonometric views (**Top:** East, **Bottom:** West)

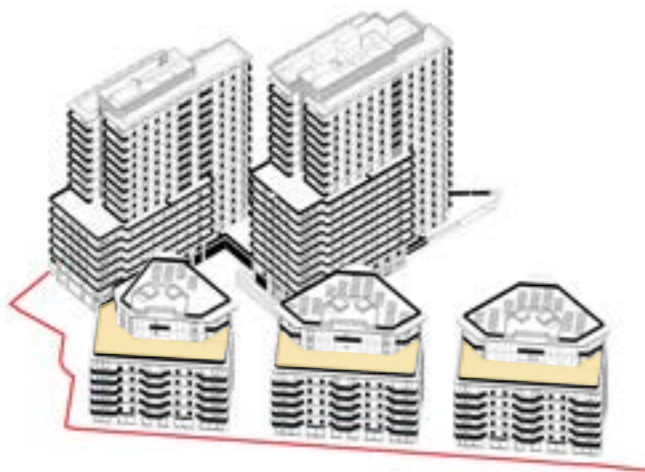
6.14 TERRACE LEVEL: COMMUNAL AMENITY

In addition to the podium level landscaped gardens, each building has a shared amenity terrace at mid-level. This is located at floor 6.

Key characteristics include:

- Amenity available only to residents of that building, with fantastic views out in all directions over the city
- Access control on door to core lobby
- Seating areas and planting, located away from the terrace edge to mitigate risk of falling from height
- Passive surveillance from adjacent apartment balconies to deter anti-social behaviour
- Discrete low-level lighting in order to not cause light pollution to adjacent flats, while creating a warm, welcoming ambience to users of the terrace at night time
- Play for younger children
- Planting and integrated seating to provide areas of rest and relaxation and privacy buffer to homes
- Pergolas providing areas of shade and comfort

Refer to landscape chapter 08 for further detail on amenity terrace design.



Illustrative view of mid-level terraces



Perspective view of Building 1 Roof terrace



Perspective view of Building 2 Roof Terrace

6.15 EXTERNAL APPEARANCE: FACADE

The low rise buildings follow the design principles defined by the consented masterplan design code..

- The street frontage - Facade Zone 1 in the masterplan - is formed of Red Brick - inspired by the materiality of the existing estate.
- Courtyard facing facades of all buildings- Facade Zone 2 - are glazed terracotta.
- The front and rear materials meet on the sides of each low rise building - the design incorporates recessed balconies, which form facade type 1D. This efficient design move created privacy for residents, increased distance between buildings, and creates a distinct thresholds between material types.
- The top floors of the low rise buildings are grouped into a double order and clad in terracotta - this wraps all around upper levels to continue the materiality around from the public squares. The west facade has fewer windows due to internal uses - rhythm and pattern is provided via infill panels of metal rainscreen cladding.

Colour varies by building, as agreed with planners for phase 1; for all material colours refer to sitewide chapter.



6.16 KEY FACADE TYPES: EBURY BRIDGE ROAD

West:
Ebury Bridge Road Street frontage:

Terracotta cladding, as per phase 1, wraps all around upper levels of the front buildings, continuing the materiality round from the public squares.

West facade has fewer windows due to internal uses - rhythm and pattern is provided via infill panels of metal rainscreen cladding.

Continuous expression of precast concrete banding, in same material as phase 1

Red brick facade, Incorporates chevron piers, with stepped detail to accentuate shadows, similar to the taller buildings.

Full height precast concrete panels to ground floor



Building 2 shown, B3 exact mirror, B1 similar

**East:
Internal courtyard facade:**

Silhouette defined by continuous precast concrete edging, matching Phase 1.

Upper 2 storeys grouped to create building 'top' - precast banding not present

Floor-to-floor fenestration with glazed terracotta cladding

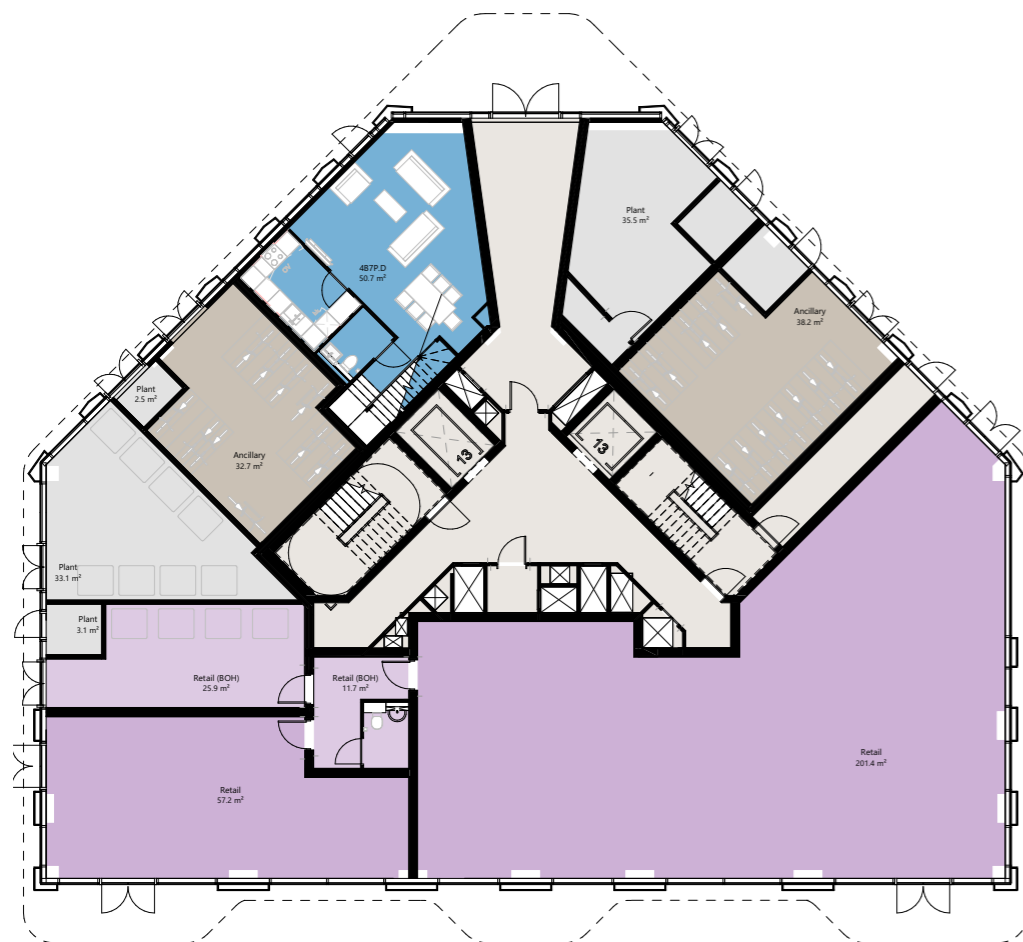
Non-residential façades:
Full height curtain walling system, glazed to create a strong relationship between internal spaces and the public realm



6.17 RESIDENTIAL ENTRANCES

The low rise buildings are accessed off the public squares, centrally beneath the projecting east facing balconies, which provide clear legibility of entrance, and provide cover.

Refer to chapter 7 for more detail on security and access aspects.



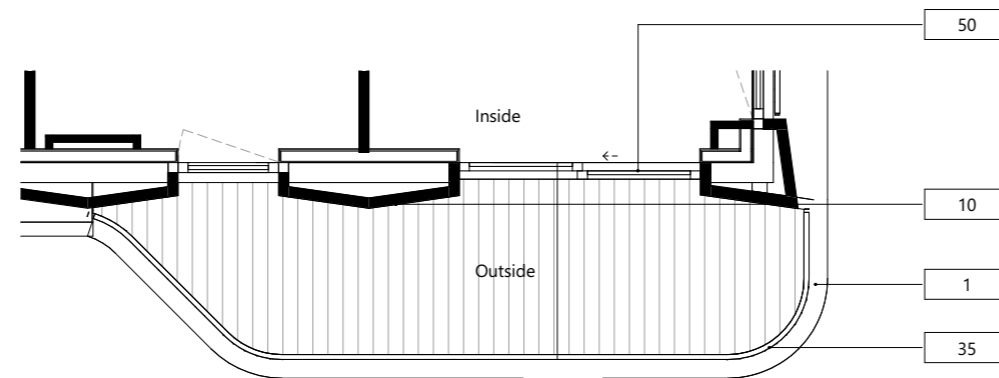
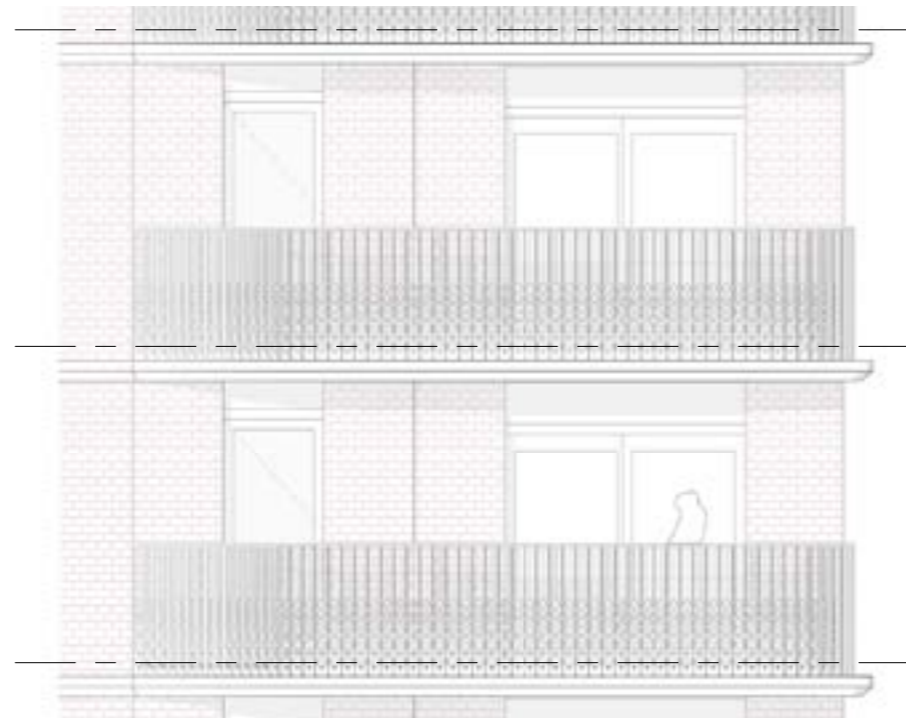
6.18 LOW RISE BALCONIES

Design principles

- Taking the principles of the building entrances explained on the previous spread, with the addition of intermediate juliet balconies to the first floor living spaces of the duplex apartments.
- Terracotta elements at ground floor more slender in plan to accentuate double height facade types.

Considerations

- Impact and durability requirements for all cladding on G and 01 floors are to be considered when developing the design at Stage 4

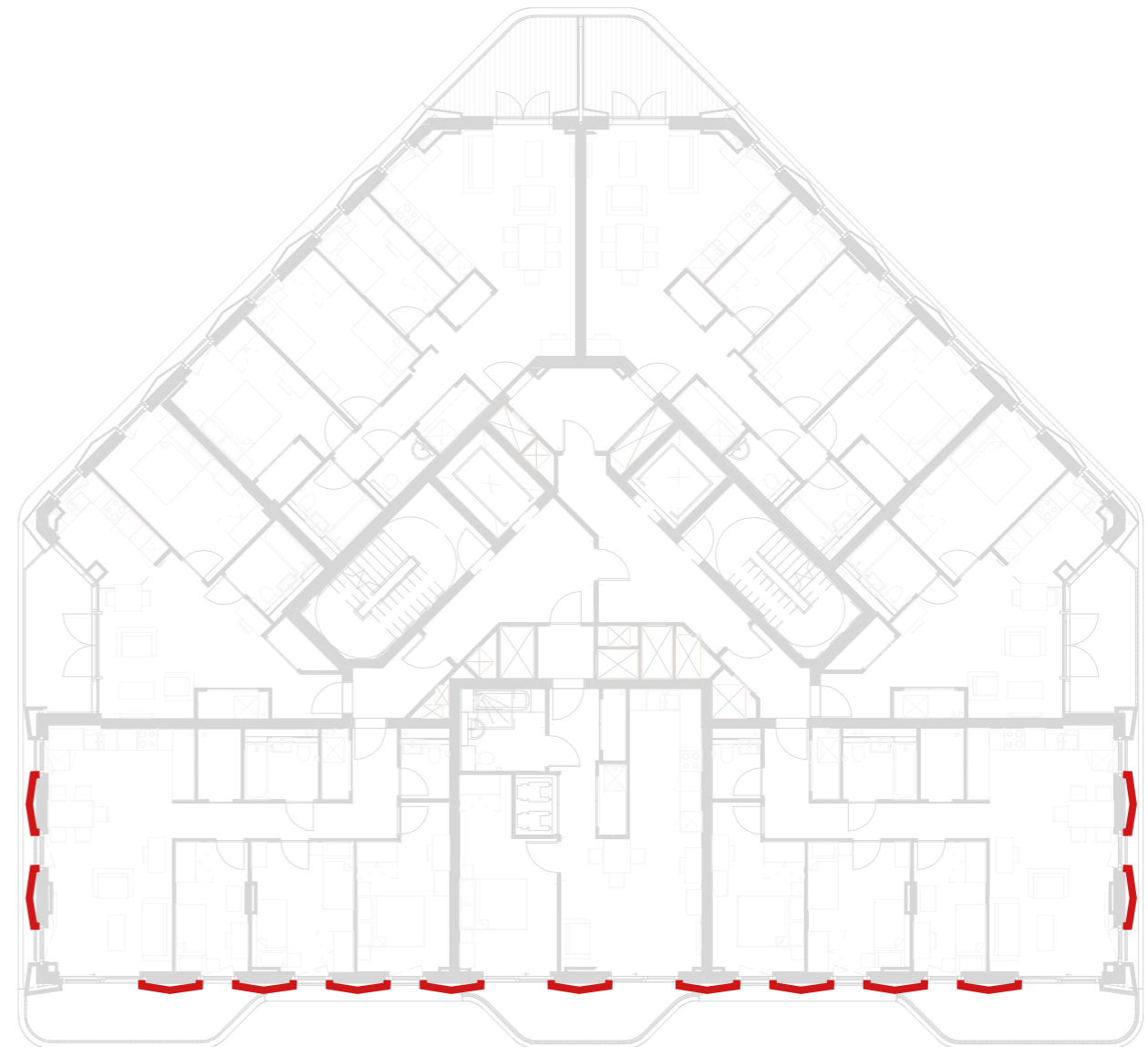


Material Legend	
No.	Description
1	Precast Concrete: Type A - finish to match Phase 1
2	Precast Concrete panel to ground floor: finish to match Phase 1
3	Precast concrete soffit, finish to match phase 1
5	Red Brick - See Drawing 146170
10	Glazed Terracotta. Colour varies by block (refer to DAS)
35	Metal Railing - Type F - Black, finish to match phase 1
50	Glazing / Door System - Frame powder coated to match phase 1
58	Glazing/Door System to ground floor non residential uses. Frame powder coated to match phase 1
59	Metal Louver above window - RAL 7022, finish to match phase 1

6.19 DIRECTIONAL BRICK PIERS

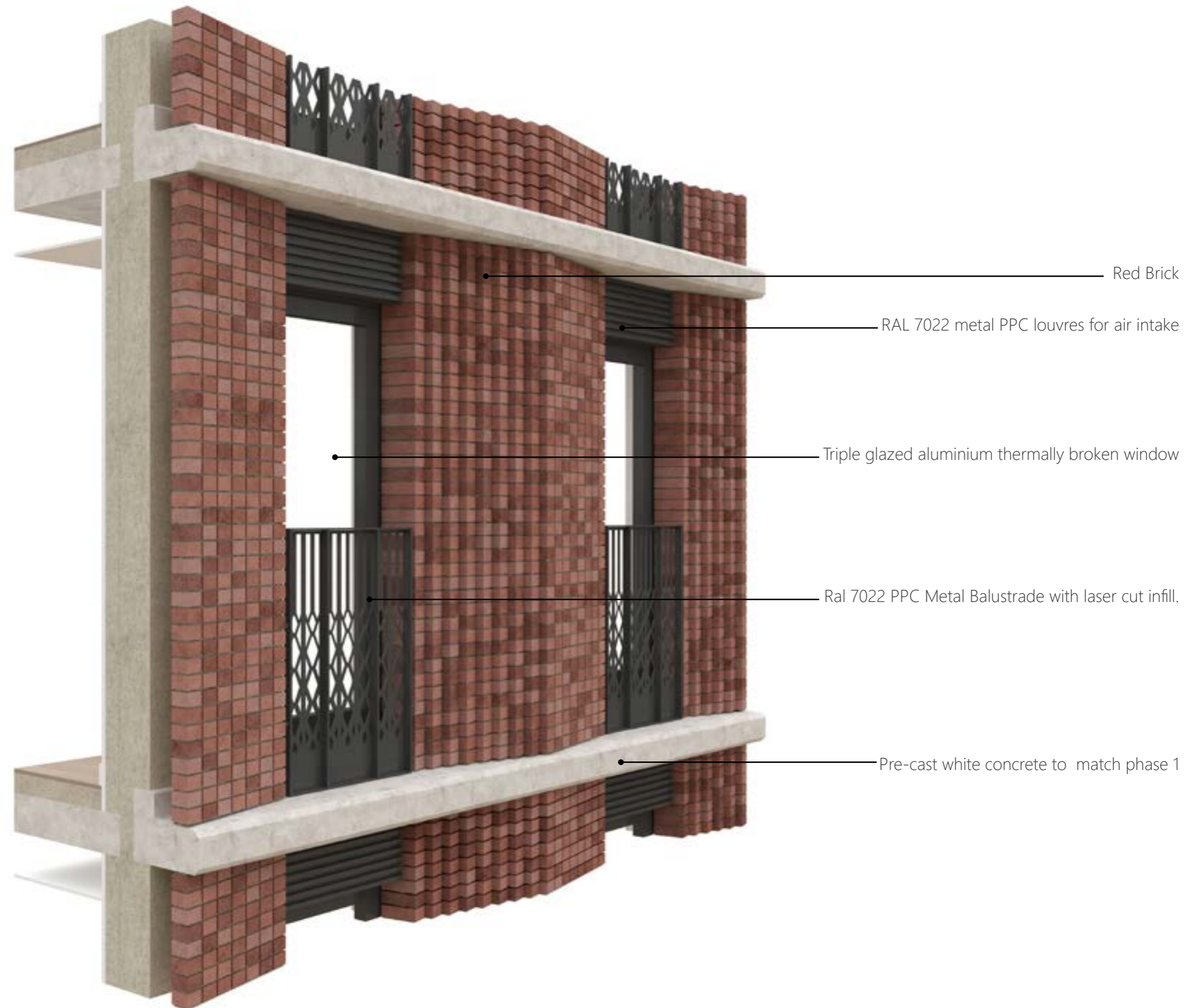
As achieved in phase 1, the rear tall buildings include a bold design feature of precast chevron piers, which are cast with a texture to one side, smooth to the other. This design picks up sunlight on one face and catches shadows on the other, creating a distinct effect which changes over the course of a day, and under different lighting conditions. This precast phase 1 detail is continued into Buildings 5 and 6.

This same concept is also taken into the low rise buildings, with a stepped brickwork detail. The following pages show this in more detail.



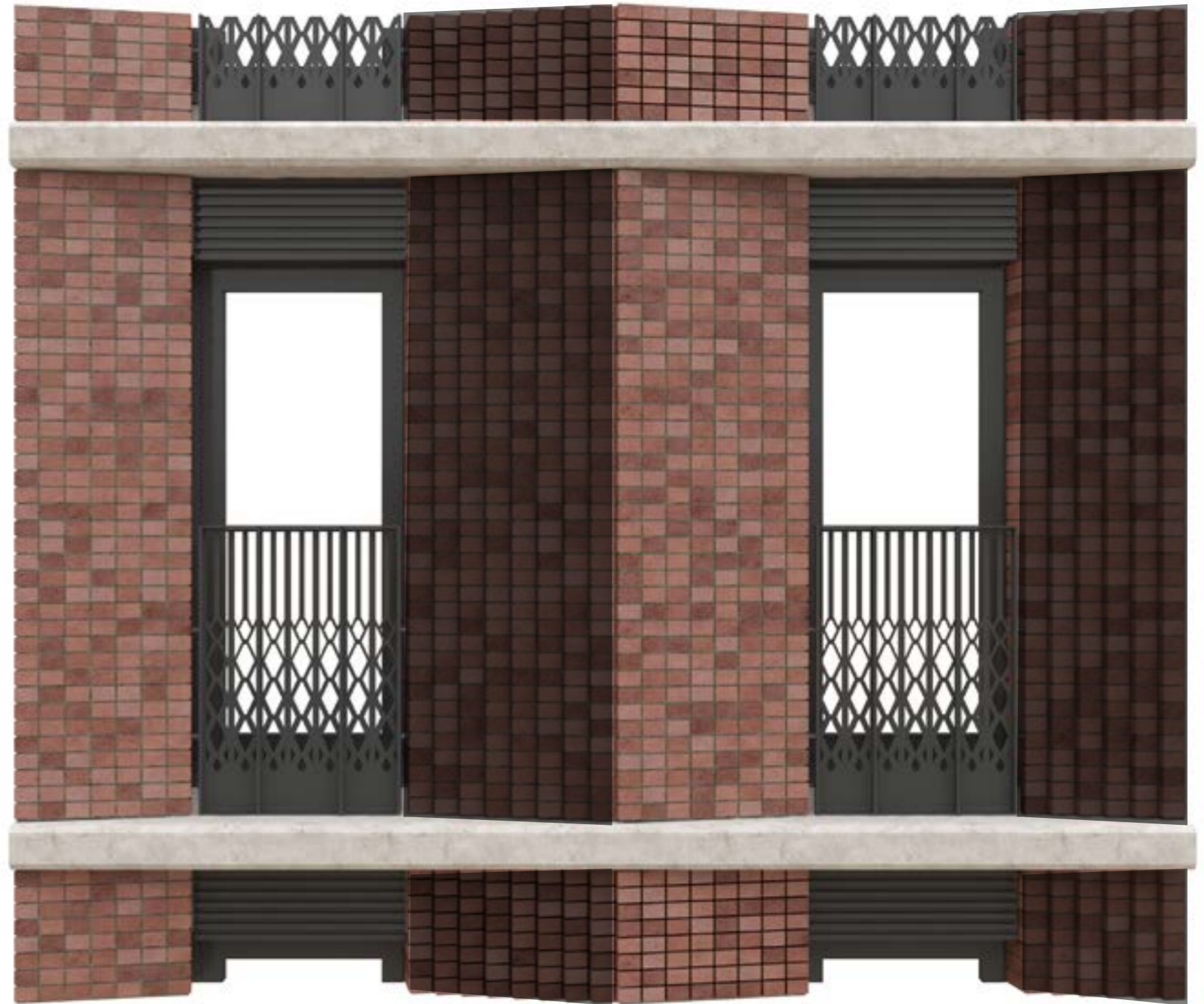
Brick Facade Bay 3d

- The brick facade is designed to reflect the existing red brick buildings, but using contemporary brick detailing.
- the chevron design is the same as the terracotta and pre-cast concrete in phase 1 and across the masterplan.
- with similar juliet balconies in the grey RAL 7022 finish it ties into the whole estate.
- The left side of the brick chevron is stepped in plan to create a 'false shadow' rather like the way we have done this on phase 1 in the pre-cast concrete.



Brick Facade Bay 3d

- The brick facade is designed with horizontal pre-cast concrete bands at the floor levels to match phase 1. This provides a visual break floor to floor as well as a base on which to construct the hand laid bricks.
- The horizontal bands reflect the original building courses (see image below)
- The chevron design accentuates the daylight and shadow creating greater contrast across the facade



The relationship between the balustrades and the masonry balconies is a fundamental detail to the building's character. The lower levels of the buildings have a greater degree of masonry as part of the masterplan strategy to ensure greater privacy from the public realm, with this solidity reducing up the building.

Drawing on local precedents and matching phase 1, the metalwork provides the scheme with a level of ornamentation and fine detailing.

Privacy Screens

These are introduced throughout the ribbon balconies with the following objectives:

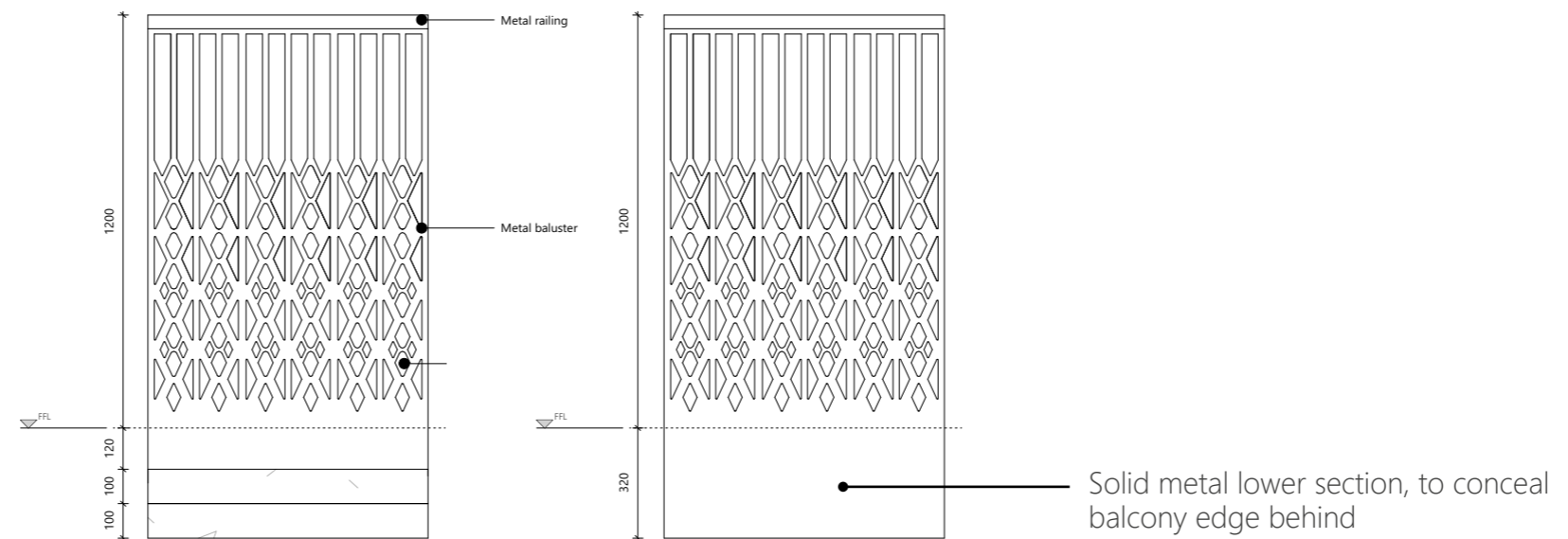
- Denoting tenant demise
- Increasing privacy for residents

The visual opposite shows how a simple opaque glass screen is integrated seamlessly into the design, complimenting the green terracotta cladding.



Precedent: Phase 1 balcony under construction

Balcony metalwork conditions



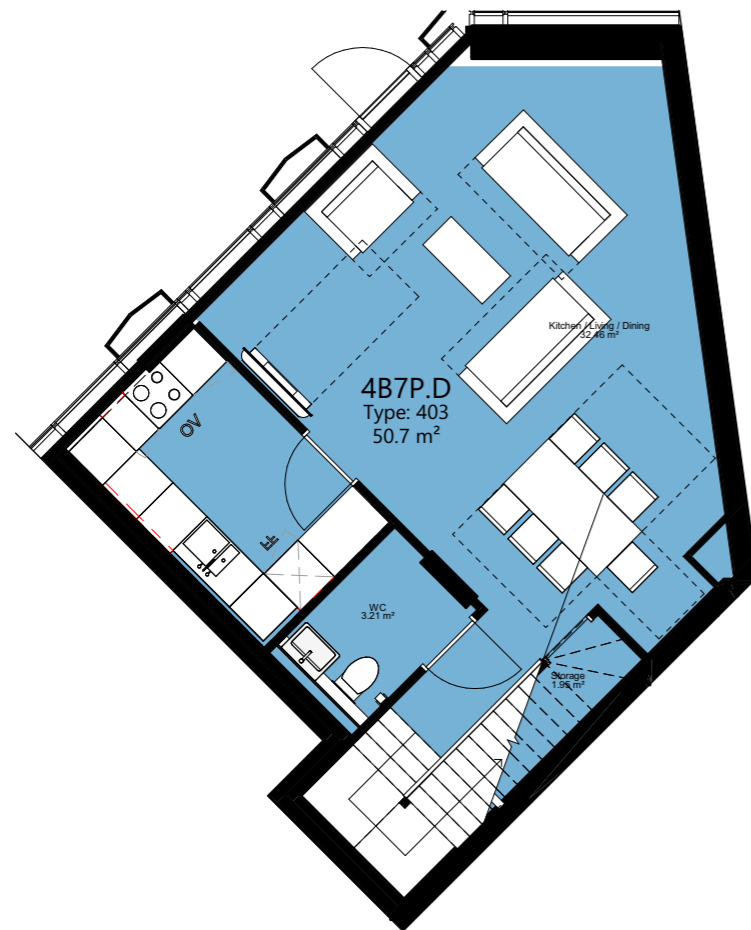
Type A
1320mm high balustrade
horizontal connection

Type B
1320mm high masonry vertical
connection

6.20 DUPLEX HOMES

As per the design of Phase 1. Duplex homes are typically located at ground floor and podium level. The larger family homes share adjacencies with outside space, play and provide easier access from ground floor level. The spread below outline the suite of layouts.

Building 2/3 Duplexes

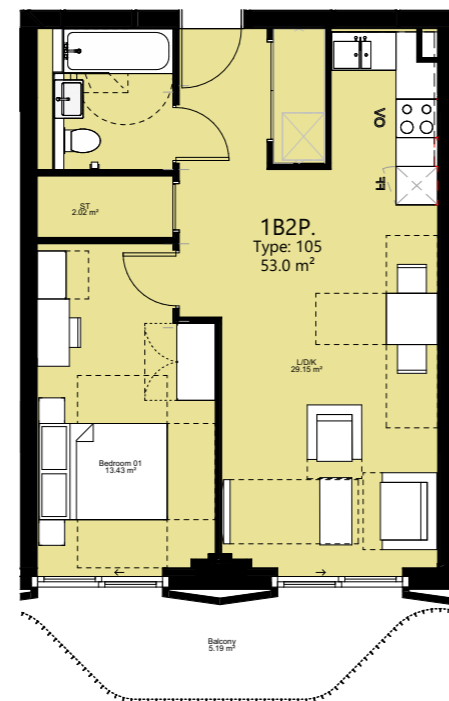


6.21 TYPICAL APARTMENTS- AFFORDABLE (B1, 2, & 3)

1 BED 2 PERSON HOMES



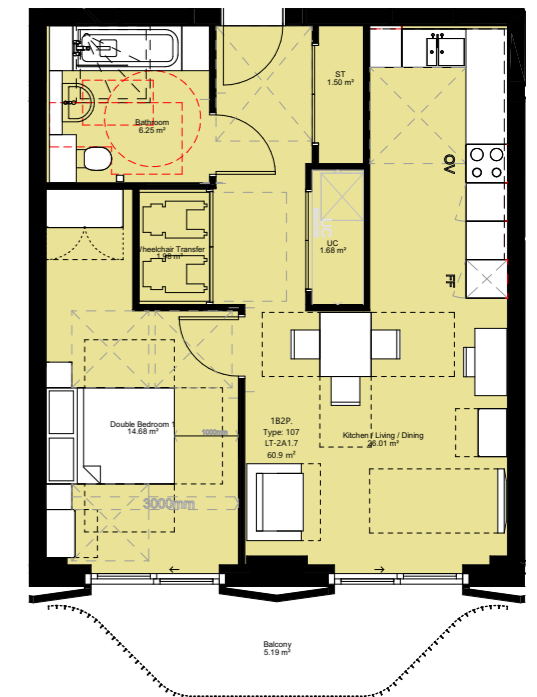
Type 102



Type 105



Type 109



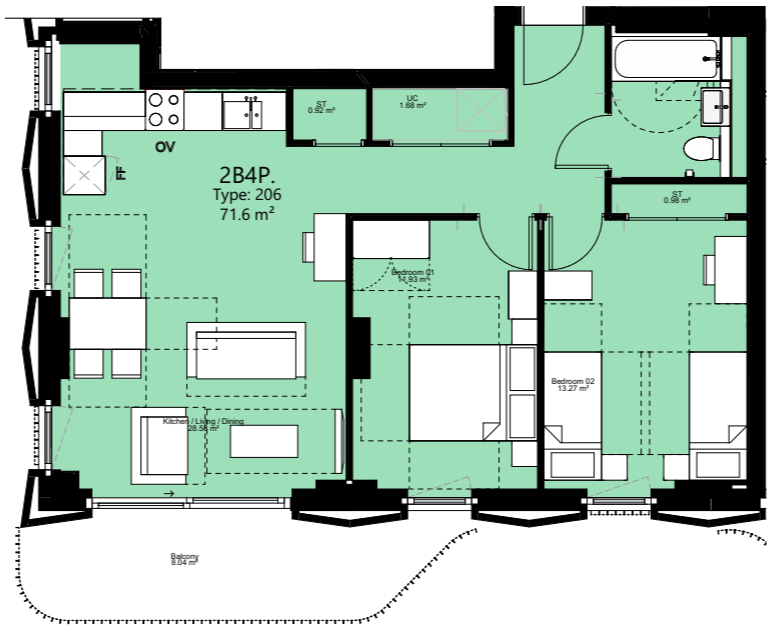
Type 107

1 BED 2 PERSON WHEELCHAIR USER DWELLING

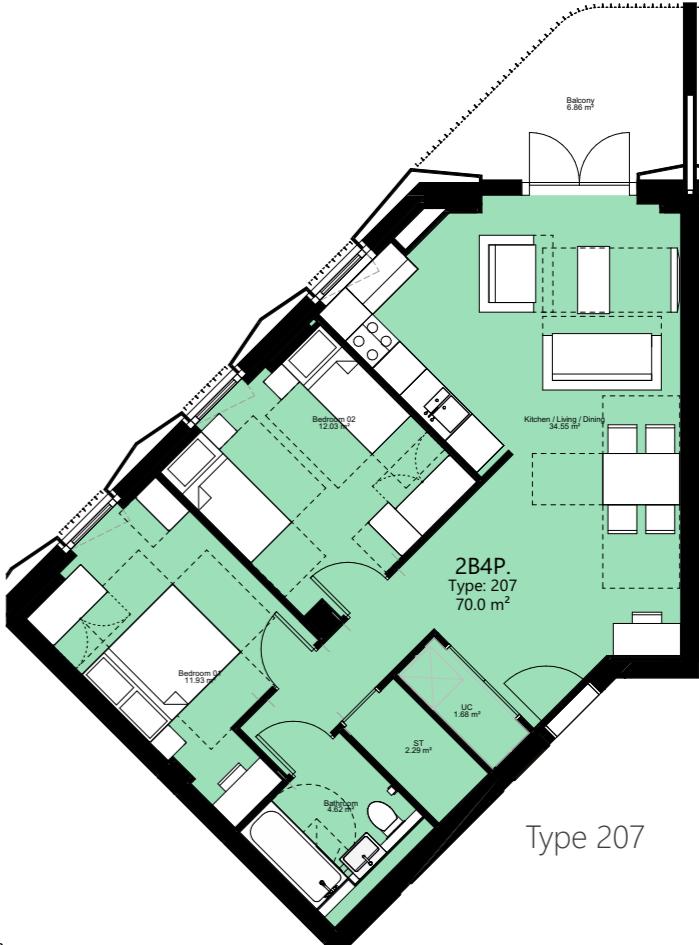
2 BED - 4 PERSON HOMES



Type 203



Type 206



Type 207

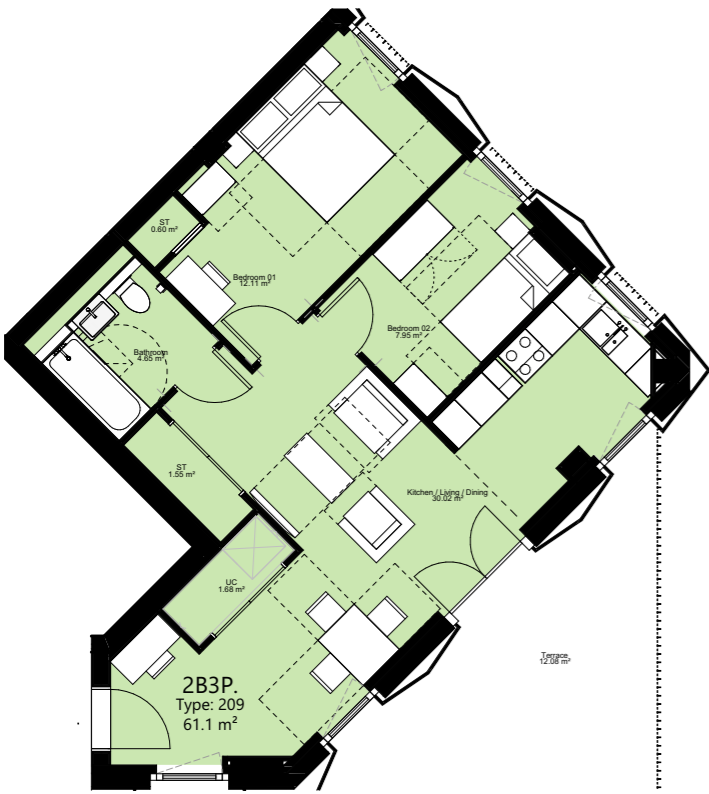


Type 210

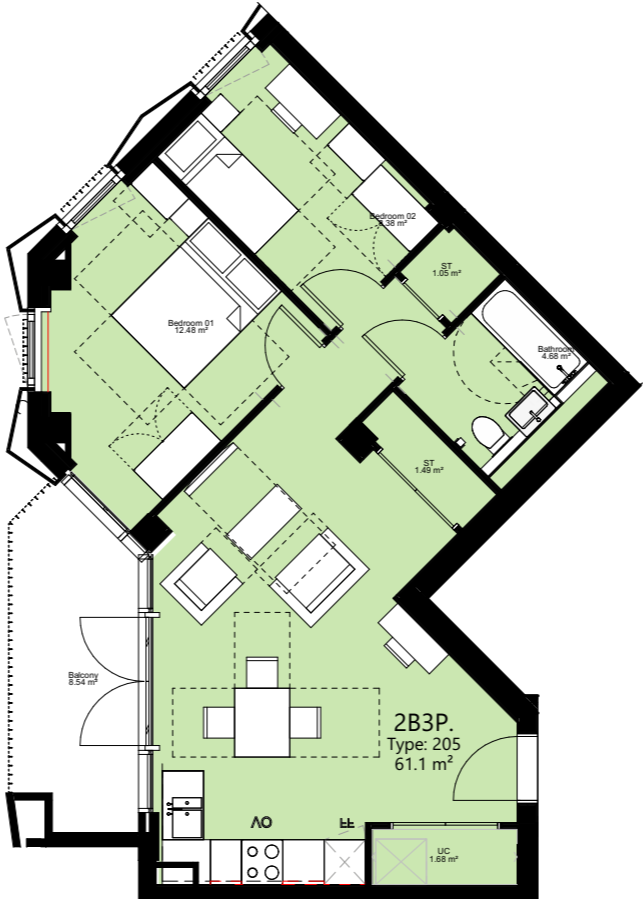


Type 208

2 BED - 3 PERSON HOMES



Type 209

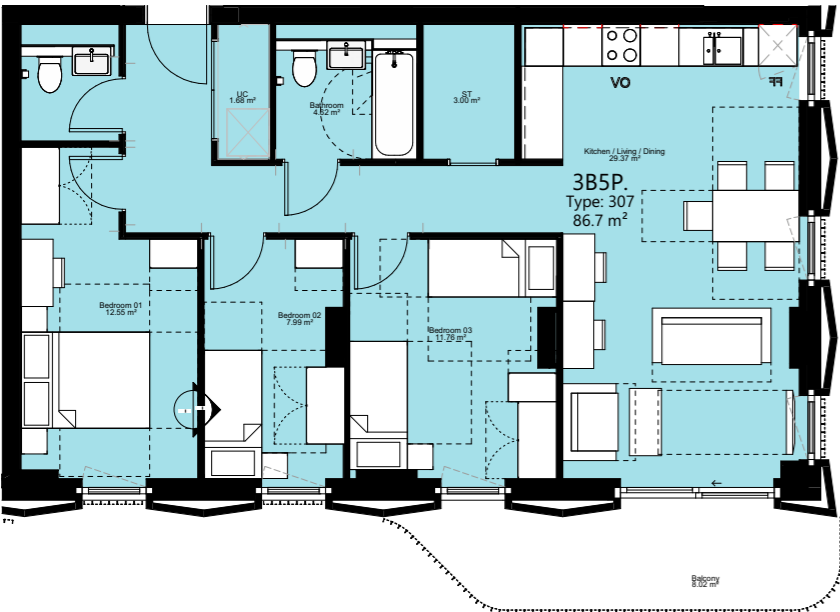


Type 205



Type 211

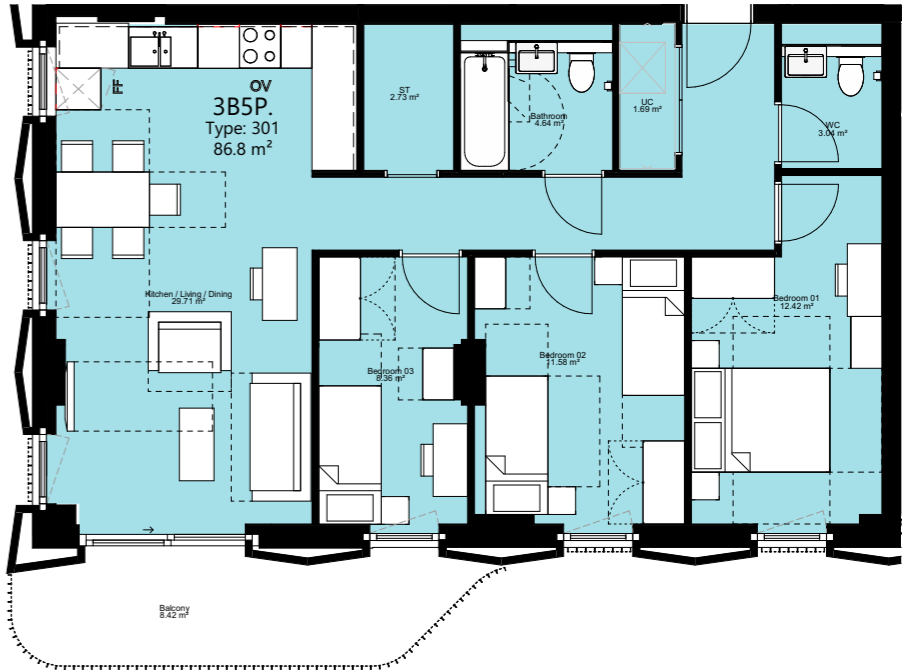
3 BED 5 PERSON HOMES



Type 307



Type 308



Type 301

